

## NOTICE OF MEETING Proposed Class II Development Permit

**TAKE NOTICE** that the Planning Advisory Committee/Committee of Adjustment for the Town of Gananoque will hold a Meeting on **TUESDAY, OCTOBER 28, 2025 at 6:00 P.M.** via **TELECONFERENCE\*** and **IN-PERSON** in the TOWN OF GANANOQUE COUNCIL CHAMBERS, 30 KING STREET EAST to consider the following application.

\*The **TOLL-FREE PHONE NUMBER** and **ACCESS CODE** will be found on the meeting agenda, posted to the Town website at <https://www.gananoque.ca/town-hallpublic-meetings/planning-advisory-committee-meeting-october-28-2025> prior to the meeting.

File No. **DP2025-15**

OWNER: **Daniel Chabot**

APPLICANT: **Catriona Mackenzie- Gray**

The property municipally and legally described as

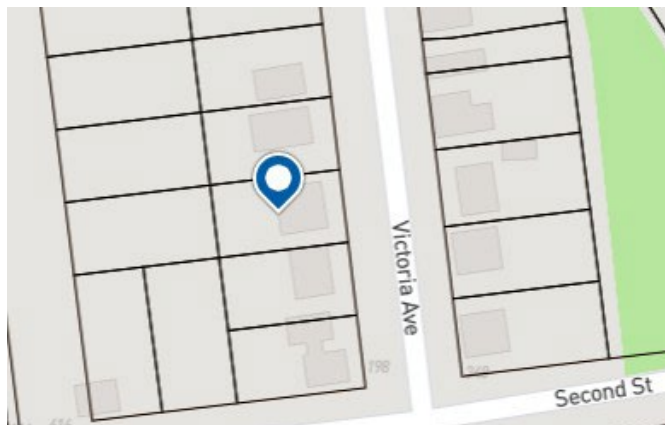
**230 Victoria Avenue  
PLAN 86 LOT 281 GAN R WS  
TOWN OF GANANOQUE**

has applied to the Town of Gananoque for an application for a Development Permit to  
**CONSTRUCT A FRONT PORCH THAT ENCROACHES INTO THE FRONT YARD  
WITH RELIEF FOR THE FRONT YARD SETBACK TO 2M**

Additional information in relation to the proposed development permit is available for inspection at the Town Hall Administration Offices located at 30 King Street East, Gananoque, ON, on the Town website at <https://www.gananoque.ca/town-hall/meetings>, by emailing [assistantplanner@gananoque.ca](mailto:assistantplanner@gananoque.ca) or by calling Trudy Gravel 613-382-2149 ext. 1129.

If you wish to provide comment or input you may do so at the public meeting or in writing prior to the meeting.

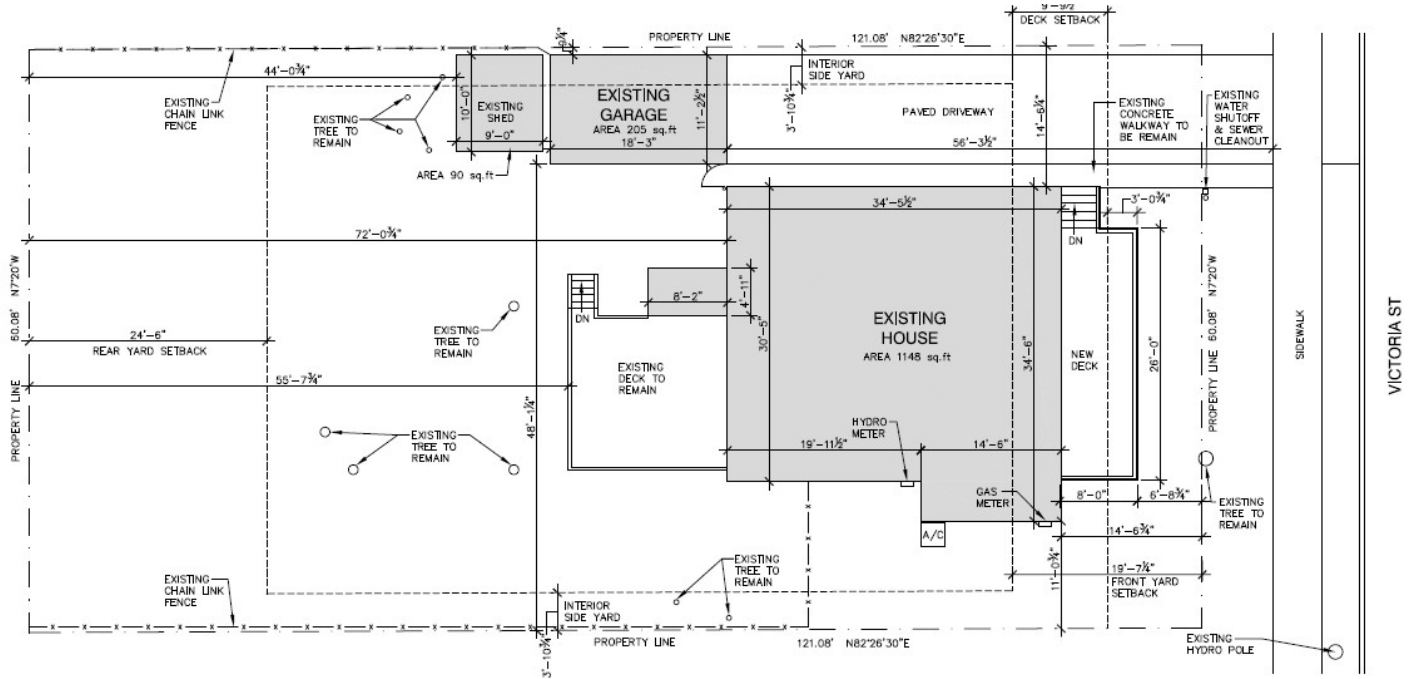
**Note:** Only the applicant of a development permit has a right to appeal a decision or non-decision on an application to the Ontario Land Tribunal where the application meets the requirements established through the official plan and development permit by-law.



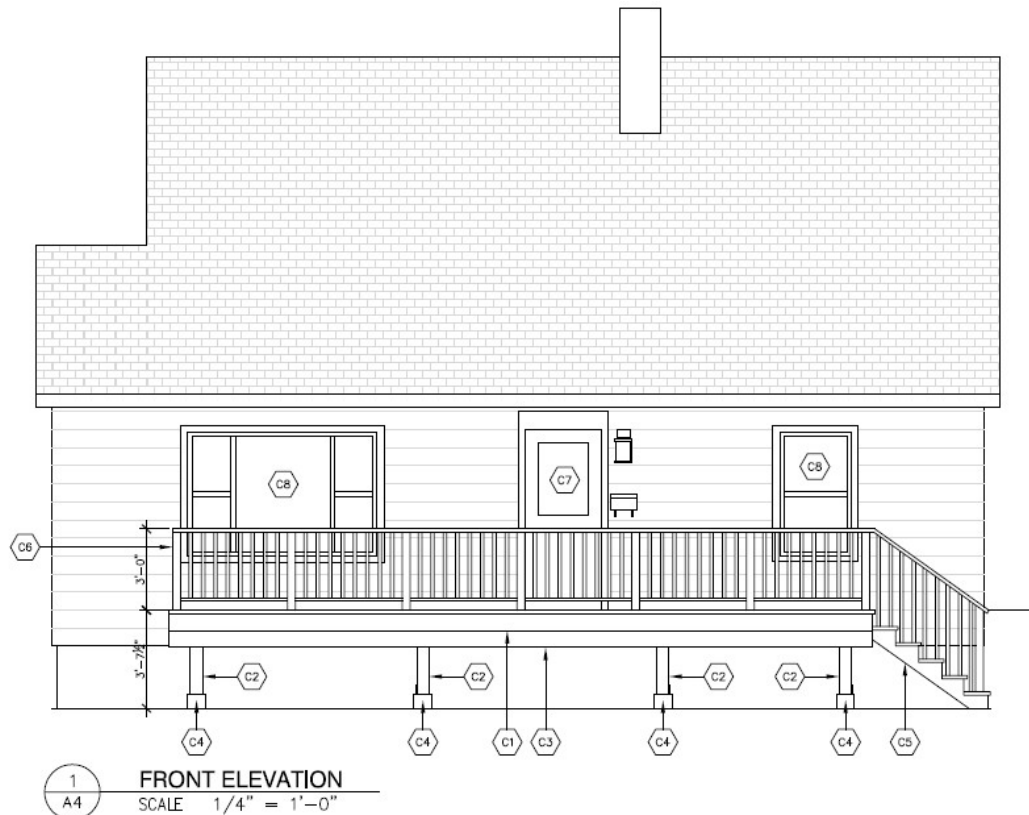
**DATED this 1<sup>ST</sup> day of OCTOBER 2025**

Brenda Guy  
Manager of Planning and Development  
[bguy@gananoque.ca](mailto:bguy@gananoque.ca)  
613-382-2149 ext. 1126

# Site Plan



# Elevation Plan





**APPLICATION FOR DEVELOPMENT PERMIT APPROVAL**  
**Section 70.2 of the Planning Act, RSO 1990, as amended**

This application form **MUST** be accompanied with **all** the submission requirements in order to be considered a complete application. **Incomplete applications will not be processed until all information is provided.**

A Pre-consultation meeting with Planning and Development staff is **REQUIRED PRIOR TO SUBMISSION** of this application. At that time, approval stream and submission requirements will be determined. **ALL** applications require the following:

**ALL** applications require the following:

- ☐ Complete application form signed including declaration of applicant\*
- ☐ Proof of ownership, deed of property or offer to purchase and sale\*
- ☐ Legal survey and/or Building Location Survey for the subject property\*
- ☐ If the development is for commercial and/or employment, multi-residential – One (1) large scale paper copy of all plans shall be submitted along with one set of reduced 11" x 17" of all plans and your electronic copy. Plans are to be in a standard scale format (1:250 1:500)
- ☐ Application fee as outlined in the pre-consultation form payable to the Town of Gananoque\*
- ☐ Deposit fee as outlined in the pre-consultation form payable to the Town of Gananoque\*
- ☐ Fees payable to the Cataraqui Region Conservation Authority, if applicable. Contact the CRCA for more information.

CONTACT INFORMATION		
Municipal Freedom of Information and Protection of Privacy Act – Personal Information on this form is collected under authority of The Planning Act and will be used to process this application.		
Name of Applicant:	Complete Address including Postal Code:	Phone:
	CATRIONA MacKenzie-Gray 230 VICTORIA AV K7G 2S4	613 888 4848
	E-mail:	
	cassshay05@gmail.com	
Name of Property Owner (if different than applicant):	Complete Address including Postal Code:	Phone:
	Daniel Chabot 230 VICTORIA AV K7G 2S4	613 532-1587
	E-mail:	
	chabd63@gmail.com	
Architect/Designer/Planner:	Complete Address including Postal Code:	Phone:
	E-mail:	
Engineer:	Complete Address including Postal Code:	Phone:
	E-mail:	
Land Surveyor:	Complete Address including Postal Code:	Phone:
	E-mail:	

PROPERTY			
Street or Property Address (if applicable):		Roll Number (if known):	
230 Victoria Ave		081406001049800	
LEGAL DESCRIPTION			
Lot/Con/Plan:			
PLAN 86 LOT 281 GAN RWS			
Frontage (m/ft):	Depth (m/ft):	Lot Area:	
18.31m (60.08')	36.91m (121.08')	7274 SQ.FT	

**SUBMISSION REQUIREMENTS**

The applicant/agent is responsible for ensuring that the submission requirements are met, including confirming that all the information listed below is shown on the required plans by checking off each box.

☒ **Site Plan(s)** including scaled accurate measurements of:

- Title, location and date of project including legend and scale (graphic bar scale as well as written ratio scale);
- Dimensions and areas of the site including existing natural and artificial features i.e: buildings, watercourses, wetlands, woodlands.
- Dimensions and gross floor area of all building and structures to be erected;
- Existing structures to be retained, removed or relocated;
- Distances between lot lines and the various buildings, structures, parking areas, driveways and other features;
- Proposed elevation of finished grades including area to be filled or excavated, retaining walls, drainage ditches;
- Parking areas including number, size of spaces and dimensions. The plans shall have regard for **Ontario Regulation 413/12 made under Accessibility for Ontarians with Disabilities Act, 2005**. This shall include, but not be limited to, providing appropriate designated parking spaces and unobstructed building access features.
- Access driveways including curbing and sidewalks
- Proposed fire routes and fire route sign locations
- Dimensions and locations of loading zones, waste receptacles and other storage spaces;
- Location, height and type of lighting fixtures including information on intensity and the direction in which they will shine relative to neighbouring streets and properties;
- Location of sign (sign permit to be applied for through the Building Permit process) as per By-law 2005-41;
- Location, type and size of any other significant features such as fencing, gates and walkways.

☐ **Drainage Plan(s)** including scaled accurate measurements of:

- Drainage Plan must demonstrate proposed development is handled on-site and does not infringe on neighbouring properties;

☐ **Landscape Plan(s)** including scaled accurate measurements of:

- Landscape Plan showing size, type and location of vegetation, areas to be seeded or sod. Plan to show existing landscape features to be retained, removed or relocated;

☐ **Site Servicing Plan(s)** including scaled accurate measurements of:

- Site Servicing Plan (plan/profile) including layout of existing water, sewer, gas lines, proposed connections, utility easements, fire hydrants, hydro poles, lighting, trees, transformers and pedestals.

☐ **Grade Control and Drainage Plan(s)** including scale accurate measurements of:

- Existing elevations on subject and adjacent lands and long centerline or adjacent street lines, which are to be geodetic;
- Location of any creeks, ravines or watercourses with elevations and contours;
- Arrows indicating the proposed direction of flow of all surface water;
- Location and direction of swales, surface water outlets, rip-rap, catch basins, rock, retaining walls, culverts
- Existing and/or proposed right-of-ways or easements

☒ **Elevation and Cross-Section Plan(s)** including scale accurate measurements of:

- Coloured elevation drawings or renderings of each side of the building to include materials being used and their consideration to the neighbourhood (PHOTOS OF EXISTING BUILDING ARE PERMITTED IF NO ADDITIONS ARE BEING UNDERTAKEN)
- Drawings that show plan, elevations and cross section views for each building or structure to be erected;
- Conceptual design of building;
- Relationship to existing buildings, streets and exterior areas to which members of the public have access to;
- Exterior design including character, scale, appearance and design features of the proposed building;
- Design elements of adjacent Town road including trees, shrubs, plantings, street furniture, curbing and facilities designed to have regard for accessibility
- Photographs of the subject land and abutting streetscape on both side of the street

☐ **Supporting Studies and Reports.** Technical reports/plans or studies may be required to assist in the review process of a Development Permit Application. Applications for Development Permit may be required to submit the following studies or reports. Applicants should consult with Municipal staff to determine site specific requirements:

- |   |   |
|---|---|
| <input type="checkbox"/> Air, Noise or Vibration Study  | <input type="checkbox"/> Sanitary System Design & sufficient capacity         |
| <input type="checkbox"/> Archaeological Study   | <input type="checkbox"/> Servicing Options Report                             |
| <input type="checkbox"/> Drainage and/or stormwater management report                           | <input type="checkbox"/> Source Water Protection – Risk Management Assessment |
| <input type="checkbox"/> Environmental Impact Assessment for a natural heritage feature or area | <input type="checkbox"/> Sun/Shady Study                                      |
| <input type="checkbox"/> Erosion and Sediment Control Plan                                      | <input type="checkbox"/> Traffic Study  |
| <input type="checkbox"/> Geotechnical Study and Hydrogeological Study                           | <input type="checkbox"/> Vegetation Inventory/Preservation                    |
| <input type="checkbox"/> Heritage Resource Assessment/Study                                     | <input type="checkbox"/> Visual Impact Assessment                             |
| <input type="checkbox"/> Hydrogeology/Groundwater Study   | <input type="checkbox"/> Water Distribution System & sufficient capacity      |
| <input type="checkbox"/> Phase I Environmental, investigation if required                       | <input type="checkbox"/> Wave Uprush Study                                    |
| <input type="checkbox"/> Form 1's – Record of Future Alteration (Water, Sewer and Storm)        | <input type="checkbox"/> Supporting Land Use Planning Report                  |
|   | <input type="checkbox"/> Other:   |

**NOTES TO OWNER/APPLICANT:**

- Applications may be subject to any Town incurred costs over and above the fees set out (See By-law 2016-047) being a by-law to establish general fees and rates for various services provided by the municipality). This is in the form of a deposit fee in the amount of \$2,000 payable to the Town of Gananoque for peer reviews of various studies as outlined in the application.
- Cataraqui Region Conservation Authority (CRCA) - Applications may be subject to review and a separate cheque payable to the CRCA. Fees are identified on the CRCA website <https://cataraquiconservation.ca/pages/permit-fees>. The Town recommends that you consult with a Conservation Authority Officer prior to making application.
- The applicant/owner may be required to provide 100% security of the cost of works in the form of a Letter of Credit or Certified Cheque upon signing of the Development Permit Agreement for all Class III applications and any Class that may require a background study or legal registration of documents.
- Security will remain with the Town until such time as the works are completed for any agreement. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.



**Existing Use(s):**

Single Family Home

Length of time the existing use of the subject lands have continued:

75 YEARS

Has the property been designated as a Heritage Site?

☐ Yes☒ No

Is the property presently under a Site Plan/Development Permit Agreement?

☐ Yes☒ No

Has the property ever been subject of an application under Section 34 (Zoning), 41 (Site plan) or 45 (Minor Variance) of the Planning Act?

☐ Yes☒ No

Has the property ever been subject of an application under Section 70.2 (Development Permit By-law) of the Planning Act?

☐ Yes☒ No

If the property has been subject of applications under the Planning Act noted above, provide the file number(s) and the status of the application?

**Proposed Use(s):**

Single Family Home

NEW DECK

Is the Use permitted or permitted subject to criteria as set out in the development permit by-law?

☒ Yes☐ No

How has the applicable criteria have been addressed?

Is/Are variation(s) requested?

☒ Yes☐ No

If yes, what variation is requested and why?

To allow new deck to encroach into existing front yard setback

TO MAKE ACCESSIBLE

Demonstrate how the proposed variation meets the criteria as set out in the development permit by-law.

REQUIRES RELIEF FOR FRONT YARD SETBACK.

**Abutting Land Use(s) – east, west, north, south:**

Residential

Is the Development to be phased?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
What is the anticipated date of construction?	Fall 2025
Is the land to be divided in the future?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Are there any easements, right-of-ways or restrictive covenants affecting the subject land?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, please provide details (and copies of covenants with application submission).	

Plan Details: Please ensure that measurements are consistent with plan			
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial	<input type="checkbox"/> Employment Lands/ Industrial	<input type="checkbox"/> Institutional
Building Coverage: 20 (%) 134 (sq.m)		Landscape Coverage: 64 (%) 434 (sq.m)	
Building Height: 5.36m	No. of Storeys: 2	No. of Units: 1	Storage of Garbage: INTERNAL

Parking Area:	Existing Parking Surface			
	<input type="checkbox"/> Paved <input checked="" type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input type="checkbox"/> Other			
	Proposed Parking Surface:			
	<input type="checkbox"/> Paved <input checked="" type="checkbox"/> Gravel <input type="checkbox"/> Permeable Parking Area <input type="checkbox"/> Other			
	# of Existing Parking Spaces 3	# of New Parking Spaces 0	# of Accessible Parking Spaces	Total # of Parking Spaces 3
	Dimension of Parking Spaces (m/ft): 2.7m x 6m		Dimensions of Accessible Parking Spaces (m/ft):	

LOADING SPACES, if applicable: N/A	Number of Loading Spaces:	Dimensions of Loading Spaces (m/ft):
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<b>Heritage Tourist Inn/Bed and Breakfast/Short Term Accommodation*:</b>		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Is this an application for a Heritage Tourist Inn?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Number of Guest Rooms:	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6
<b>NOTE: A Heritage Tourist Inn will require a Heritage Resource Assessment evaluating the heritage significance of the property including a description of historic features is required with the submission of this application.</b>			
Is this an application for a Bed and Breakfast?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Number of Guest Rooms:	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3
Is this an application for a Short Term Accommodation?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
Number of Guest Rooms:	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3

Access*:	Potable Water*:	Sewage Disposal*:	Stormwater*:
<input checked="" type="checkbox"/> Municipal Street <input type="checkbox"/> Existing Private Road/ Lane <input type="checkbox"/> Existing Right-of-way <input type="checkbox"/> Unopen Road Allowance <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Town Owned/operated Water System <input type="checkbox"/> Private Well <input type="checkbox"/> River <input type="checkbox"/> Other:	<input checked="" type="checkbox"/> Town Owned/Operated Sewage System <input type="checkbox"/> Private Septic and Tile Field <input type="checkbox"/> Other	<input checked="" type="checkbox"/> Town Owned/Operated Sewers <input type="checkbox"/> Swales <input type="checkbox"/> Ditches <input type="checkbox"/> Other
Provide any applicable hook-up approvals and/or permit number(s) applicable to the above:			

<b>Water Access (where access to the subject land is by water only)</b>	
Docking Facilities (specify) distance from subject land <u>N/A.</u> distance from nearest public road _____	Parking Facilities (specify) distance from subject land _____ distance from nearest public road _____

EXISTING BUILDINGS:	Building 1 - Primary	Building 2 - Accessory
Type of Structure (ie: wood concrete)	Wood	Wood
Date Constructed:		
Front Line Setback:	14'-6 3/4"	56'-3 1/2"
Rear Lot Line Setback:	72'-0 3/4"	44'-0 3/4"
Side Lot Line Setback:	14'-6 1/4"	9 1/4"
Side Lot Line Setback:	11'-0 3/4"	48'-1 1/4"
Height:	17'-7"	10'-0" +/-
Dimensions:	34'-5 1/2" x 34'-6" (varies)	18'-0 x 11'-2 1/2" 9'-0" x 10'-0"
Floor Area:	1148 sq.ft	205 sq.ft 90 sq.ft

PROPOSED BUILDINGS:		Building 1 - Primary	Building 2 - Accessory
	Type of Structure (ie: wood concrete)		
	Proposed Date of Construction:		
	Front Line Setback:		
	Rear Lot Line Setback:		
	Side Lot Line Setback:		
	Side Lot Line Setback:		
	Height:		
	Dimensions:		
Floor Area:			
Attached Additional Page, if necessary			

**AUTHORIZATION BY OWNER**

I/We, the undersigned being the registered owner(s) of the subject lands, hereby authorize Catrina Mackenzie-Gray (print name) to be the applicant in the submission of this application. Furthermore, I/we, being the registered owner(s) of the subject lands, hereby authorize Town of Gananoque members of Council, Committee of Council and Municipal Staff, to enter upon the property for the purposes of conducting a site inspection with respect to the subject application.

Daniel Chabot

Owner Name (Please Print)

[Signature]

Signature of Owner

[Signature]

Signature of Witness (not applicant)

Owner Name (Please Print)

Signature of Owner

Date

**CONSENT BY OWNER**

I/We, Daniel Chabot, (print name(s) am/are the registered owner(s) of the land that is the subject of this application for Development Purposes and for purposes of the Municipal Freedom of Information and Protection of Privacy Act. I/We hereby authorize the use, or disclosure, to any person or public body, of any personal information collected under the authority of the Planning Act of the purpose of processing this application.

[Signature]

Signature of Owner

[Signature]

Signature of Witness (not applicant)

Signature of Owner

29 Sept 2025

Date

**DECLARATION OF APPLICANT**

(Print) I, CATRINA MACKENZIE-GRAY of the TOWNSHIP of LEEDSE THOUSAND ISLANDS in the COUNTY of LEEDS GRENVILLE solemnly declare that:

I understand that the applicant/owner will be required to provide 100% security of the outside works in the form of a Letter of Credit or Certified Cheque until such time as the works are completed. A 15% holdback will be maintained for a period of one year after the works are completed. This will be applicable at the time of agreement.

All of the above statements contained in the application are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under Oath and by virtue of *The Canada Evidence Act*.

Declared/Sworn before me at

GANANOQUEthis 29TH day of SEPTEMBER,2025.

Commissioner  
Lynsey Zufelt  
Town of Gananoque  
Lynsey Zufelt, Deputy Clerk  
Signature of a Commissioner, etc

[Signature]

Signature of Applicant

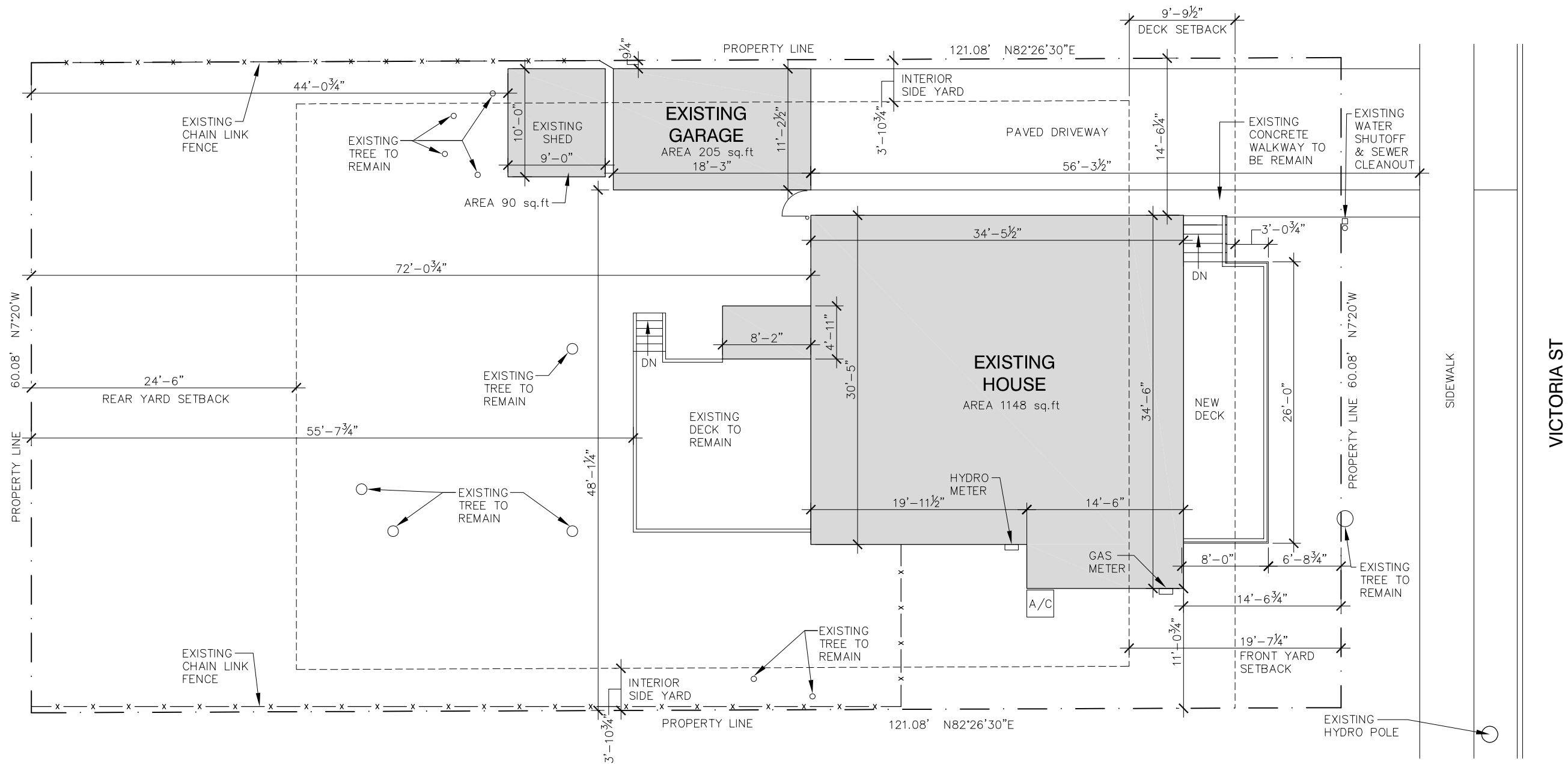
<b>Office Use Only:</b>		Roll No: 081400001049800
Official Plan Designation: Residential	Development Permit Designation: Residential	Other:
Access (Entrance Permits etc): Existing	Water and Sewer Hookup (Permits etc): Existing	Other:
Other Concurrent Applications:	<input type="checkbox"/> Cash-in-Lieu of Parking <input type="checkbox"/> condo Approval <input type="checkbox"/> Consent/ Severance	<input type="checkbox"/> Official Plan Amendment <input type="checkbox"/> Subdivision Approval
Date Application Received: September 29, 2025	Date Application Deemed Complete: September 29, 2025	Fees Received: Sept. 29, 25 \$1500

For additional details please contact: Brenda Guy, Manager of Planning and Development  
 Town of Gananoque, 30 King Street East, Gananoque, ON K7G 1E9  
 (613) 382-2149 ext.1126 E-mail: bguy@gananoque.ca

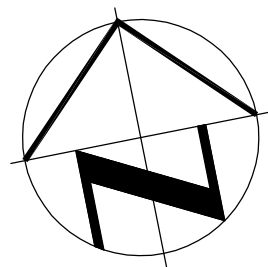








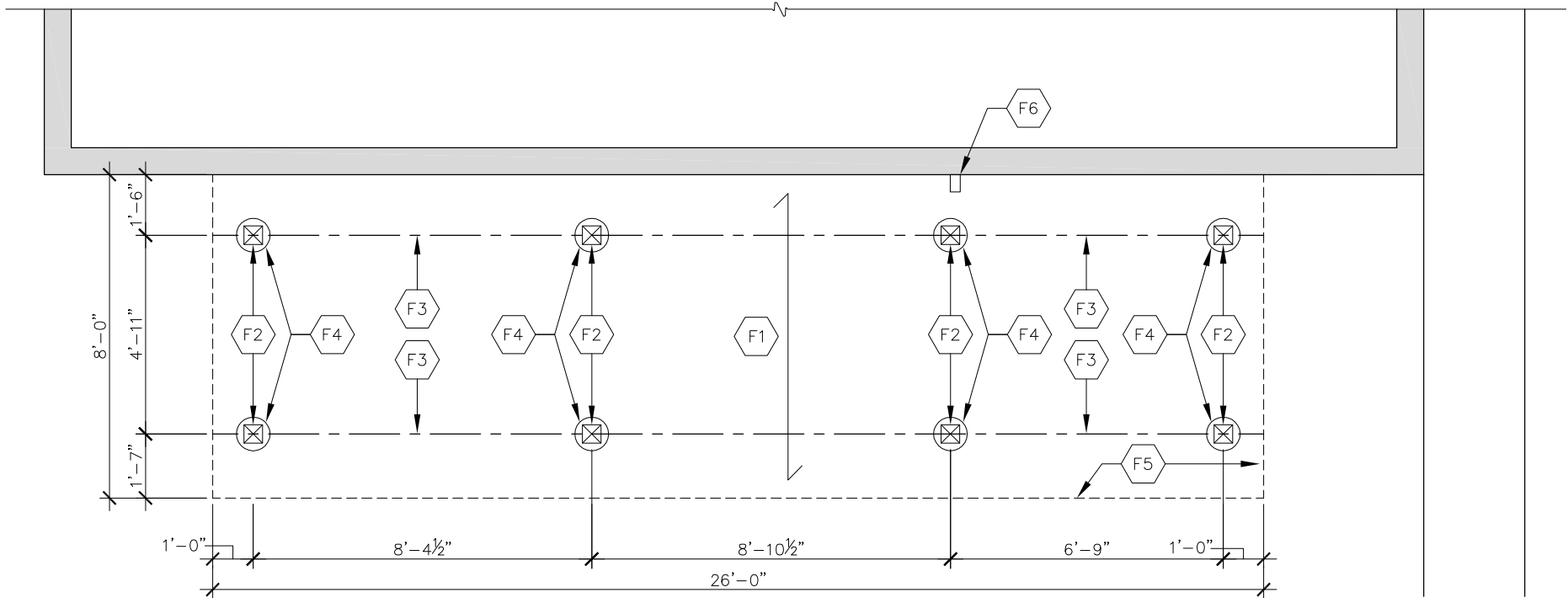
1 SITE PLAN  
A2 SCALE 3/32" = 1'-0"



2 KEY PLAN  
A2 SCALE NTS

EXISTING HOUSE			
ZONING	REQUIRED	EXISTING	PROVIDED
ZONE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
FRONT YARD MIN	19.6'	14.5'	N/A
REAR YARD MIN	24.5'	72'	N/A
INTERIOR SIDE YARD MIN	3.9'	11'	N/A
EXTERIOR SIDE YARD MIN	N/A	N/A	N/A
LOT AREA MIN	4995 SQ.FT	7274 SQ.FT	N/A
LOT COVERAGE MAX	35%	20%	N/A
PARKING	2	3	N/A

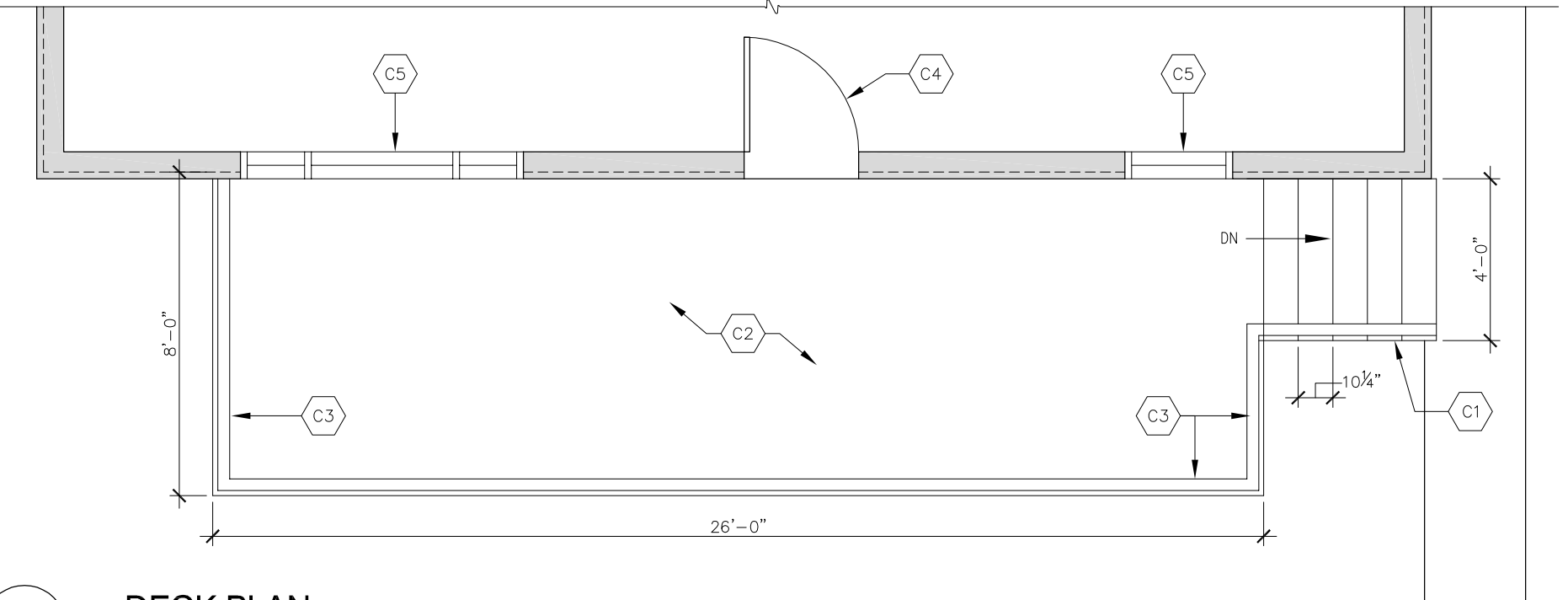
project	NEW EXTERIOR DECK			title	SITE PLAN		
location	230 VICTORIA AVE GANANOQUE, ON			scale	3/32"=1'-0"	job no.	2023-50
for	CAT MACKENZIE — GRAY			date	SEP 2025	dwg. no.	2



FOUNDATION CONSTRUCTION NOTES

- F1 5/4" PT DECK BOARDS ON 2"x8" PT JOISTS @ 16" O.C.
- F2 6"x6" P.T. WOOD POST W/ GALVANIZED SADDLE
- F3 3 - 2X8" PRESSURE TREATED BEAM W/ GALVANIZED SADDLE
- F4 10" DIA CONCRETE SONOTUBE. 4'-0" DEPTH MIN OR TO BEDROCK.
- F5 LINE OF DECK ABOVE
- F6 EXISTING VENT TO BE MODIFIED AS REQUIRED


1  
A3 FOUNDATION PLAN  
SCALE 1/4" = 1'-0"

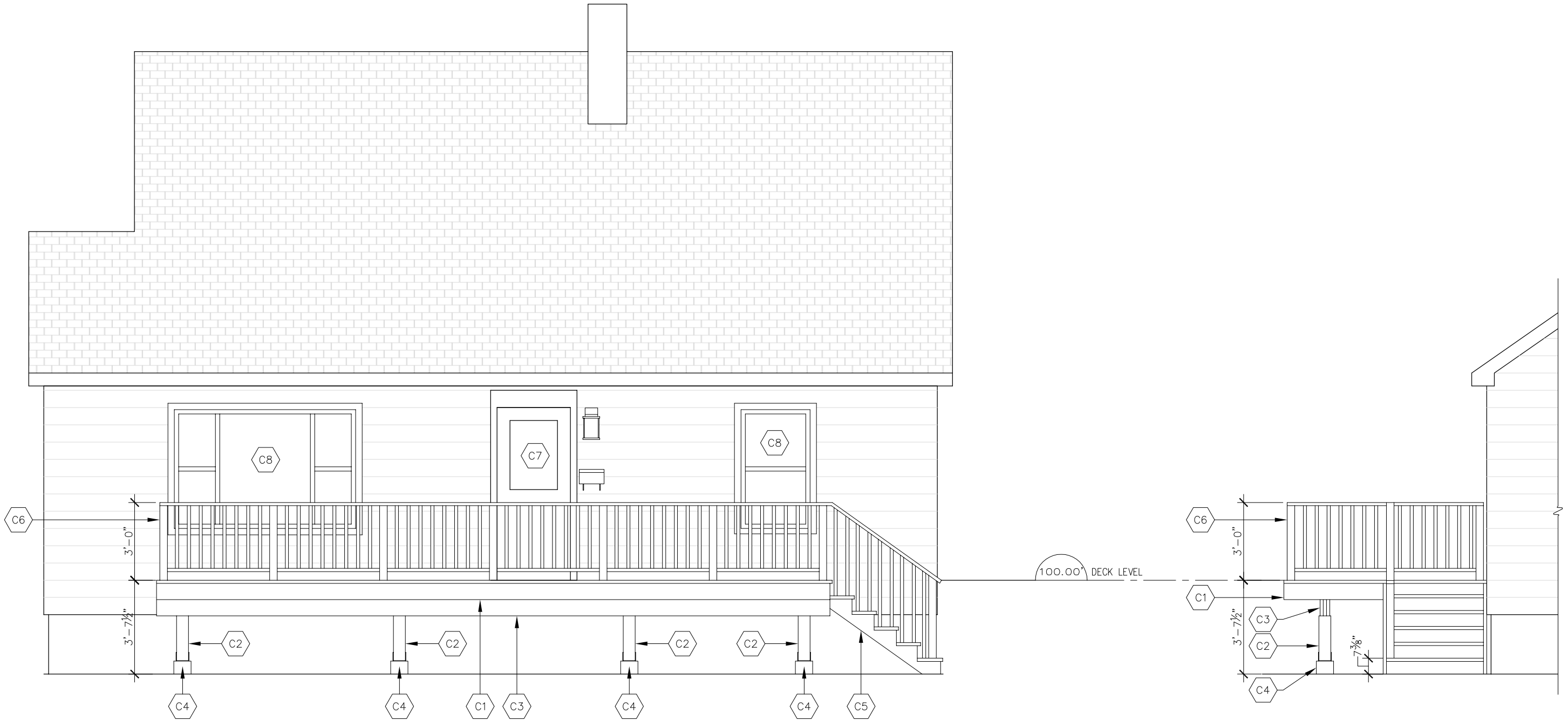


CONSTRUCTION NOTES

- C1 NEW WOOD STAIRS TO MEET THE REQUIREMENTS OF SB-7 & O.B.C. 9.8.
- C2 5/4" PRESSURE TREATED DECK BOARDS
- C3 GUARDS (36" HIGH) TO BE INSTALLED TO MEET THE REQUIREMENTS OF O.B.C. 9.8. SB-7, EA-5, EB-2 & EC-1,
- C4 EXISTING DOOR TO REMAIN
- C5 EXISTING WINDOW TO REMAIN

2  
A3 DECK PLAN  
SCALE 1/4" = 1'-0"

project	NEW EXTERIOR DECK		title	FOUNDATION & DECK PLAN	
location	230 VICTORIA AVE GANANOQUE, ON		scale	AS NOTED	job no. 2023-50
for	CAT MACKENZIE - GRAY		date	SEP 2025	dwg. no. 



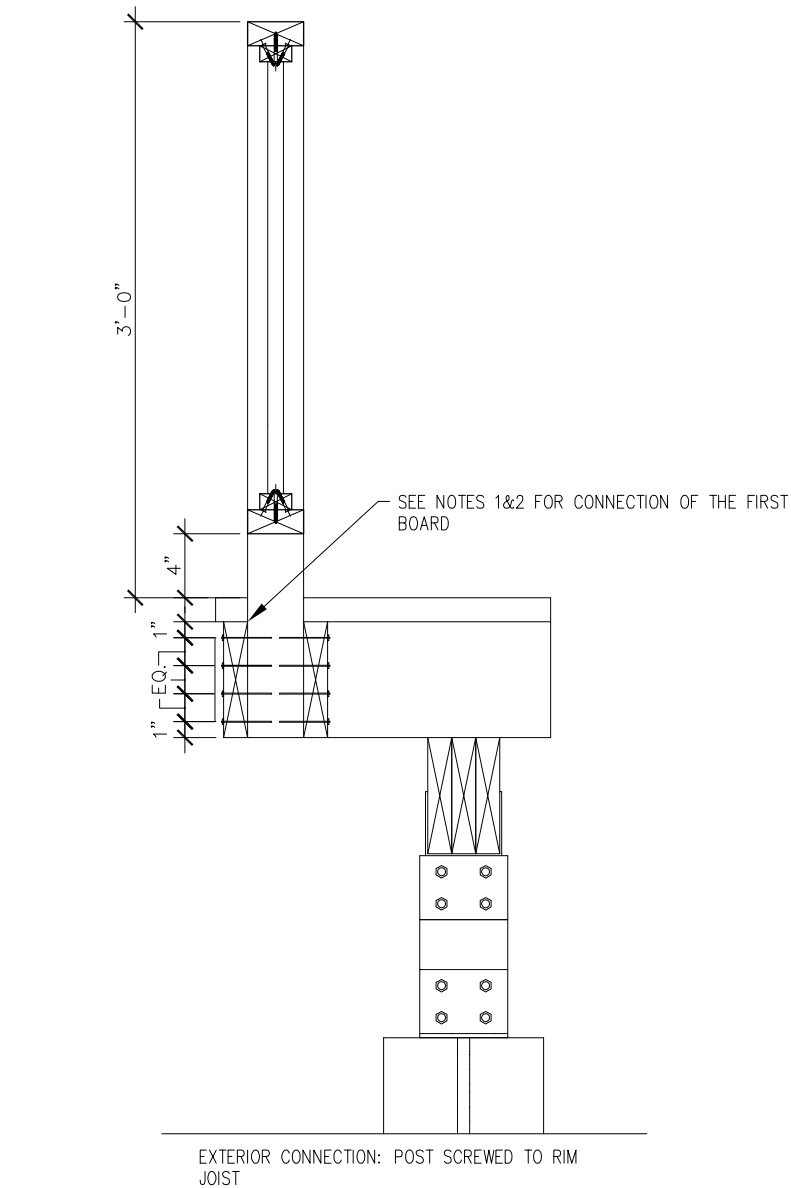
1  
A4  
**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

2  
A4  
**SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

### CONSTRUCTION NOTES

- |    |   |    |  |
|----|---|----|--|
| C1 | 5/4" PT DECK BOARDS ON 2"x8" PT JOISTS @ 16" O.C.         | C5 | NEW WOOD STAIRS TO MEET THE REQUIREMENTS OF SB-7 & O.B.C. 9.8.                                     |
| C2 | 6"x6" P.T. WOOD POST W/ GALVANIZED SADDLE                 | C6 | GUARDS (36" HIGH) TO BE INSTALLED TO MEET THE REQUIREMENTS OF O.B.C. 9.8. SB-7, EA-5, EB-2 & EC-1, |
| C3 | 3 - 2X8" PRESSURE TREATED BEAM W/ GALVANIZED SADDLE       | C7 | EXISTING DOOR TO REMAIN  |
| C4 | 10" DIA CONCRETE SONOTUBE. 4'-0" DEPTH MIN OR TO BEDROCK. | C8 | EXISTING WINDOW TO REMAIN  |

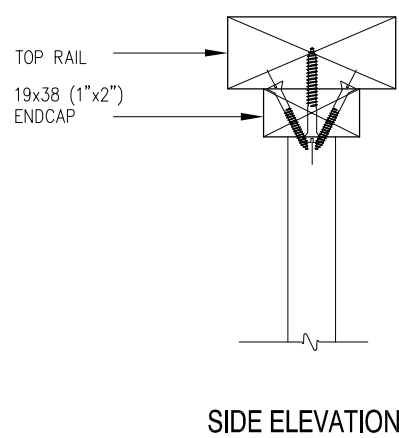
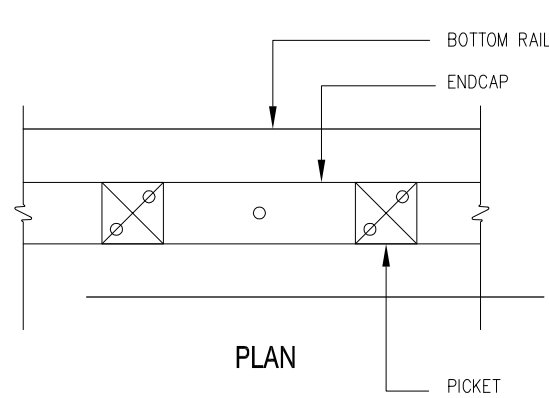
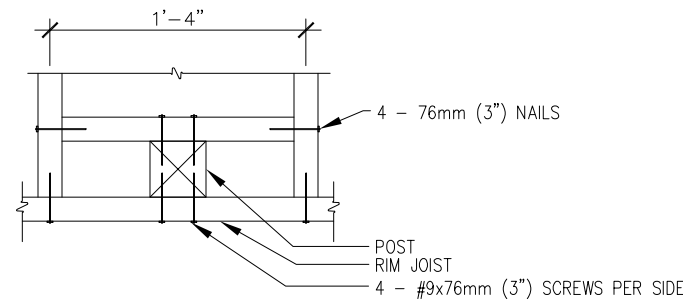
project	NEW EXTERIOR DECK		title	ELEVATIONS	
location	230 VICTORIA AVE GANANOQUE, ON		scale	AS NOTED	job no. 2023-50
for	CAT MACKENZIE - GRAY		date	SEP 2025	dwg. no.



1  
A5

**SB-7 DETAIL EB-2**

SCALE 1" = 1'-0"



2  
A6

**SB-7 DETAIL EC-1**

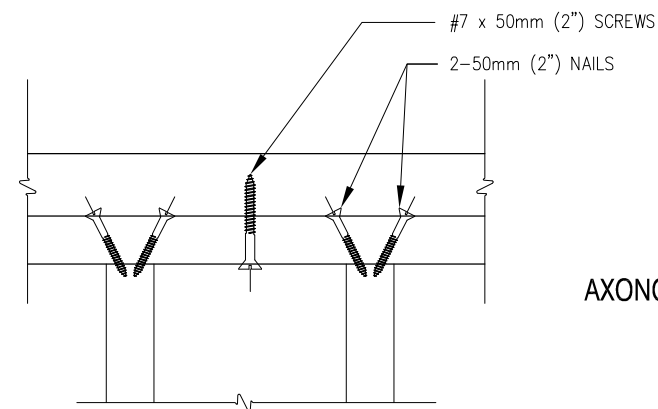
SCALE 3" = 1'-0"

TABLE 2.1.2.  
MINIMUM SIZE OF LOADBEARING ELEMENTS

GUARD ELEMENT	MINIMUM SIZE,mm (in)
POST	89 x 89 (4" x 4" NOMINAL)
TOP RAIL	38 x 89 (2" x 4" NOMINAL)
BOTTOM RAIL	38 x 89 (2" x 4" NOMINAL)
PICKET/BALUSTER	32 x 32 (1 9/32" x 1 9/32")
COLUMN 1	2

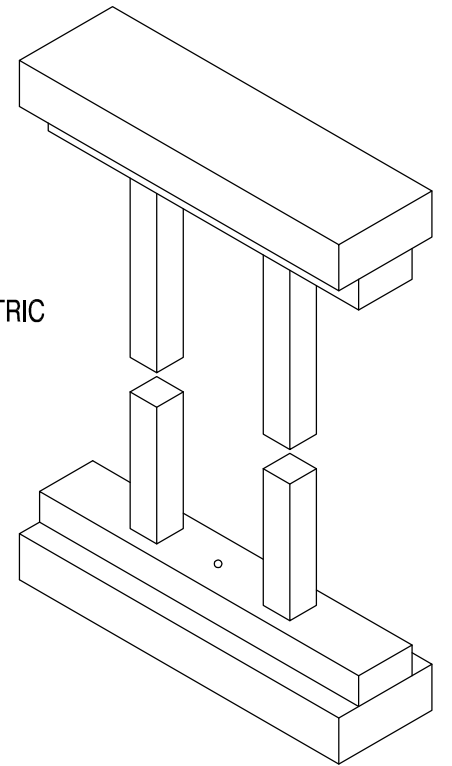
## DETAIL EC-1

EXTERIOR CONNECTION: INFILL PICKET NAILED TO ENDCAP - ENDCAP SCREWED TO RAIL



FRONT ELEVATION

AXONOMETRIC



### NOTES

- FASTEN 25mm X 140mm (5/8" X 6") NOMINAL OUTER DECK BOARD TO RIM JOIST WITH 63mm (2 1/2") NAILS AT 300mm (12")
- FASTEN 25mm X 140mm (5/8" X 6") NOMINAL OUTER DECK BOARD TO FLOOR JOIST WITH 1-63mm (2 1/2") NAIL AT EACH JOIST
- THE POST MAY BE POSITIONED ANYWHERE BETWEEN THE JOISTS
- #9 SCREWS MAY BE REPLACED BY #8 SCREWS IF THE MAXIMUM IS NOT MORE THAN 1.20M (3'-11")

### MAXIMUM SPAN OF RAIL BETWEEN POSTS

SPECIES	MAXIMUM SPAN, M (FT-IN)
DOUGLAS FIR-LARCH, HEM-FIR, SPRUCE-PINE-FIR	1.56 (5'-1")
NORTHERN SPECIES	1.20 (3'-11")
COLUMN 1	2

### NOTES:

- FASTEN EACH END OF EACH PICKET TO ENDCAPS WITH 2-50mm (2") nails.
- FASTEN ENDCAPS TO RAILS WITH #7 50mm (2") SCREWS AT 300mm (12") o.c.
- SEE TABLE 2.1.2 FOR MINIMUM SIZES OF PICKETS

project NEW EXTERIOR DECK	title DECK DETAILS		
location 230 VICTORIA AVE GANANOQUE, ON	scale AS NOTED	job no. 2023-50	
for CAT MACKENZIE - GRAY	date SEP 2025	dwg. no. 1	